

**DESIGN REVIEW BOARD
TOWN OF BOXBOROUGH**



**DESIGN
GUIDELINES**

Version 1.0
Approved by the Boxborough Design Review Board
July 17, 2000

DESIGN REVIEW BOARD DESIGN GUIDELINES

TABLE OF CONTENTS

<u>INTRODUCTION</u>	2
<u>Design Review</u>	2
<u>General Character</u>	2
<u>Boxborough Town Center</u>	3
<u>Design Guidelines Organization</u>	3
<u>Design Guidelines Revision History</u>	3
<u>DESIGN ATTRIBUTES</u>	4
1. <u>RHYTHM OF SOLIDS AND VOIDS</u>	4
2. <u>FACADE AND OPENINGS</u>	5
<u>Façade</u>	5
<u>Openings</u>	5
3. <u>MASSING AND SPACING OF BUILDINGS</u>	6
<u>Village Core</u>	6
<u>Large Buildings</u>	7
<u>Link Buildings</u>	7
<u>Small buildings</u>	8
<u>Public vs. Domestic Architecture</u>	8
<u>Overall Massing</u>	8
4. <u>PLACEMENT AND ORIENTATION OF BUILDINGS WITHIN A LOT</u>	8
5. <u>ARCHITECTURAL DETAILS, MATERIALS, AND COLOR</u>	9
<u>Architectural Details</u>	9
<u>Windows</u>	10
<u>Shutters</u>	10
<u>Siding</u>	10
<u>Roof Materials</u>	10
<u>Colors</u>	10
6. <u>ROOF SLOPES AND SHAPES</u>	11
<u>Skylights and Dormers</u>	11
7. <u>SIGNAGE AND LIGHTING</u>	12
<u>Lighting</u>	12
<u>Signs</u>	12
<u>Sign types</u>	12
8. <u>LANDSCAPING</u>	14
<u>Species to be avoided</u>	16
<u>ATTACHMENT 1 – DESIGN REVIEW BOARD APPLICATION</u>	17
<u>APPENDIX A – ZONING BYLAW CHANGES, ATM MAY 8, 2000</u>	19

INTRODUCTION

Design Review

The Town Center Visioning Committee, Design Guidelines Subcommittee, prepared these Draft Design Review Guidelines as an initial input for the town to consider a warrant article creating the design review process. Zoning By-Law changes approved by the Annual Town Meeting on May 8, 2000 created the Boxborough Design Review Board comprised of representatives the Planning Board, Board of Selectmen, Permanent Building Committee, Historical Commission, and an at-large elected member. The purpose of the Design Review Board is to augment the typical planning process and provide a detailed review of design attributes in the Town Center District and other areas if designated to compliment the design qualities of the Town and enhance the scenic, historic, and rural character of the Town.

The Design Review Board derives its authority and responsibilities from Zoning By-Law Sec. 5900. The Planning Board, which is the approval authority in Site Plan Review, transmits plans received to the Design Review Board for review and comment. The Board reviews the plans taking into account the design attributes listed in the By-Law and further defined within the Design Guidelines, and then makes its advisory recommendations to the Planning Board or other Special Permit Granting Authority as defined in the By-Law.

General Character

Boxborough's general character is summed up in the phrase "scenic, historic, and rural character."¹ From agricultural roots, it is comprised of generally low density housing, with some higher density concentrations of condominiums and business. Boxborough highly prizes its open spaces and areas remaining agricultural or wooded in nature.



¹ As further defined in the January 19, 1994, Town of Boxborough Master Plan Committee on Rural Character Final Report. By using existing structures in town to establish scale and architectural aspects, these Guidelines extrapolate character to accommodate focused design issues for town center and other designated areas.

Boxborough Town Center

The center of Boxborough generally surrounds the intersection of Massachusetts Avenue (Rte. 111), Middle Road, and Stow Road. The Town Center District is a specific Zoning District at this intersection comprised of specific parcels so designated. A mix of residential and commercial property surrounds the Town Center District, which contains historic buildings used as for retail and offices. The Boxborough Town Hall, the Congregational Church and its associated parsonage are located directly and diagonally across Massachusetts Avenue from the primary area of development. New development will be comprised for mixed use (public, service, retail, and housing).

Design Guidelines Organization

This handbook is a description of the attributes used by the Design Review Board in making its recommendations. It is also intended to assist those interested in making improvements to existing structures to better understand and utilize the design review process to be a useful process.

The expectations of materials expected to conduct the design review process are given as part of Attachment 1, Design Review Board Application. The Zoning By-Laws areas specific to the design review process, and having the higher precedence than these guidelines, are included in Appendix A.

Design Guidelines Revision History

Version 1. This document was approved by the Boxborough Design Review Board on July 17, 2000.

DESIGN ATTRIBUTES

The Zoning By-Law delineates design attributes to which these Design Guidelines give further definition. It is the intention here to provide ideas for consideration as part of the design review process. It is not the intention to provide deterministic compliance criteria, rather make certain concepts and design strategies more explicit, by statement and by example, to allow a collaborative process between developers and the Design Review Board, such that the Board may provide recommendations to the appropriate decision authorities.

1. Rhythm of solids and voids

The architectural quality of building elevations is determined, in large part, by the “rhythm” or “patterns” of the architectural elements on the elevation. These include doors, windows, entrances, signs, ventilation louvers, and any ornamental elements such as columns, railings, shutters, and trim elements. Colonial architecture commonly exhibits symmetrical arrangement of these elements, but there are also good examples of “balanced” random arrangements of elements that can be equally attractive. In order to do this, the planning of space should be kept in mind with the strong elevational implications considered at each stage of the design process.



Good example of attractive symmetrical (above) and non-symmetrical (below) primary elevations



Elevation of buildings should be 2 stories in height above minimized foundation on the front entryway.



Example of how the elevation below the primary floor line may be differentiated while maintaining the consistency of the basic structure.



Example of poor elevation design: mixed styles, poor proportions, lack of symmetry/rhythm



This elevation suffers from a number of problems: disproportional layout of openings, uncomfortable proportions of elements, lack of gable trim-board relief and a roof pitch which is too flat. Too much foundation is also evident.

2. Façade and Openings

Façade

Facades and the orientation of openings should highlight distinctive stylistic features that characterize buildings with a common theme.



Good example of the relationship of elements. Inviting primary entry, symmetry of windows.

Exposed foundation walls should be minimized, softened by landscaping and architectural design. It is recommended that exposed foundation greater than 3 feet be covered with stone facing (or brick if a later period styled building or the body of the building is brick) if it cannot be otherwise concealed.

Openings

It is also very important that the placement of doors and windows on all elevations (front, side and rear) be treated with care. Rear elevations, above the first floor typically used for service access (which should be otherwise screened), should be treated with the same attention as the front and side elevations.



A simple logical layout of openings is preferable.

The presentation of an elevation is a function, not only of the largest of the architectural elements relative to each other, but also of the proportion of the elements themselves.

It is recommended window proportions should have maximum and minimum height/ width ratios as follows:
(See illustration below) Height Y = 1.5 to 1.9 times the Width X. Windows adhering to the ratio can be arranged in a series, still considering symmetry and rhythm, to allow a broader presentation as a shop front.



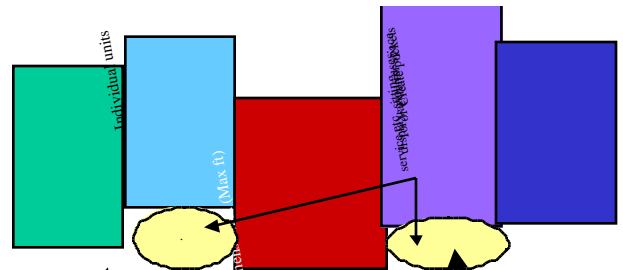
Other window ratios or elements may be considered, however the orientation and proportion relationships with other façade elements should be taken into account.

3. Massing and Spacing of Buildings

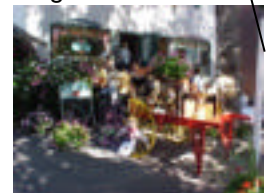
Village Core

The Town Center District will include a village core activity, the location of defined within the Design Phase of the Town Center Visioning Committee process. Retail, service and residential uses are encouraged in the village core.

(In mixed use buildings retail operations shall be present on ground floor). The village core retail setbacks are less restrictive than retail in other districts, permitting denser mixed use development to focus center activities. Primary roads are designated within the village core.



Principles of core town buildings layout, and an example of adjacent buildings.



Pockets of space for market carts, seating, and other uses

Streetscapes should be enhanced by and reflect the Village Core's vibrant and varied uses.



Example of how a variety of styles can complement one another.

On street parking is allowed. Where feasible and where the types of businesses are not adversely impacted, parking away from pedestrian areas should be considered. Service vehicle access to buildings will be away from the primary facing of buildings. The overall massing and shape of buildings will be determined by the ability to construct well-proportioned main structures and roofs that appear authentic.

Fences of appropriate style should be considered to accompany buildings in the village core.

Large Buildings

The intention is to promote a scale and massing of a small rural town representing styles extending from roughly the middle of the Colonial period to the early Greek Revival period (1760s-1840s). In this era, the largest buildings were either meetinghouses or agricultural buildings such as barns. The size and scale of these traditional structures will indicate the size of the largest building footprints in the new Town Center. The recommended largest

footprint would approximate 45 feet x 65 feet.

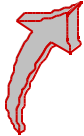
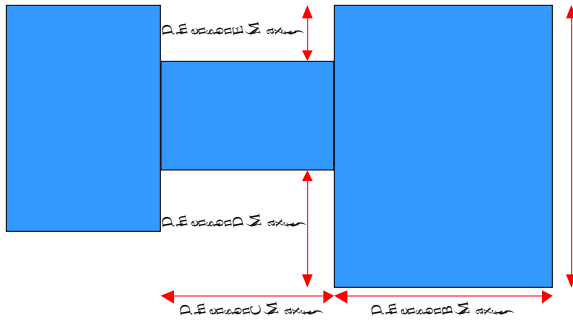


Example of building with large scale but harmonious with surrounding structures defined by original purpose (i.e., a barn, which in turn may have other purposes, retail, etc.)

Link Buildings

Two large buildings may be linked by an additional structure, but the link building should be set back from the ends of the building by an offset in the wall and roof planes (not including any porches or entries located on the link building which may be flush with the primary structures). This will reduce the appearance of the mass of larger buildings and ensure that the major building volumes are seen as distinct structures. The link buildings should look as though they are later additions to earlier freestanding structures.

The volumes of buildings should present themselves as authentic. Full roofs may hide mechanical equipment through widow walk arrangements or through surrounding interior flat spaces by pitched roofs.



Good example of link buildings.

Small buildings

While smaller structures (less than 1,500 square feet in plan) may be placed adjacent to one another, it is recommended each building have its own structure and elevational treatment that is different from its neighbor. Small decorative wings (e.g., wooden framed greenhouses) may be attached to larger structures if well integrated into the overall arrangement of shapes.

Public vs. Domestic Architecture

Massing, orientation and details should be commensurate with the size and prominence of the building. Public architecture (e.g. library), because of its function, will vary in scale (e.g., larger footprint, position of wings of the primary structure) and detail (e.g., columns) from the other buildings in Town Center.



Example of the contrast between public building and other use building

Domestic buildings may include carriage house, barn, or other types of structures consistently related to other neighboring structures.

Overall Massing

The overall massing objectives are to stimulate a concentrated use of space in the commercial center of town. The Village Core should stress pedestrian, including handicapped access, be domestic in scale, encourage shopping, and create pockets of space in front of buildings for seasonal plantings, shaded sitting areas, and outdoor dining.

4. Placement and Orientation of Buildings within a Lot

Buildings should acknowledge the uniqueness of their location, their building neighbors, and the natural setting. In other words, an attractive vista, for example a stream or a stand of woods, should be utilized in the design of the adjacent building. Also, buildings that stand adjacent to each other can relate with a courtyard or plantings.



Example of the relationship of varied building elements surrounding courtyard including functional outdoor uses.

Buildings in the Village Core, even those close to the street, shall maintain a wide sidewalk with space for circulation. Where a building is placed further back on a lot, consideration should be made for seating and plantings to enhance use.

The use of fencing to separate public and private space, to mark property lines and to protect plantings from traffic, can add significantly to the streetscape. Fences should be chosen to harmonize with nearby structures. Picket and other fences, in addition to stonewall, are suggested. Modern concrete walls and chain link or stockade fences do not enhance the visual effect and are not appropriate to primarily routes of pedestrian or vehicular travel in the Village Core. Board fences or board fences capped with top rows of lattice should be used to obscure waste receptacle, external systems, service entrances, or related areas.

5. Architectural Details, Materials, and Color

Construction in a particular historical style should employ accurate elements of that style. The target historical style extends from roughly the middle of the Colonial period to the early Greek Revival period (1760s-1840s).

Architectural Details

Architectural details include trim and shutter elements:

Roof trim should have depth and consistency of lines. Corner elements at gable ends may project. Dental molding, shown below the roofline, is an example of a good detail.



Good example roof eave projection with wrap around the corner detail.



Good example of gable end roof hangover and projection of detail.

Molding & trim should be used to decorate or finish a surface of buildings and doors.



Note dental trim on opening and detail below bay windows.

Windows

Window mullions shall be true divided lights or applied on both interior and the exterior of windows.

Shutters

Shutters shall be wooden or close facsimile. The width of shutters shall be sufficient to cover the width of an opening when closed.



Example of shutters of correct scale and proportion, as well as opening symmetry/rhythm, and window moldings.

Siding

Siding shall be wooden clapboard or close facsimile (e.g., vinyl, no greater than 4.5" exposed), wood shingle, or brick.

Roof Materials

Roofs shall be clad in architectural grade roofing shingles, wood shingles, or slate.

Colors

Colors should be related to the time period represented by a particular style. There is a wide range of historically appropriate colors to express individuality while still being fair to the style of the building. The colors should be applied to the structure (or be part of the exterior materials) to enhance the design, and compatible colors of that blend with or compliment the neighborhood should be used. Neon and bold colors should not be used. All trim should be white or off-white.

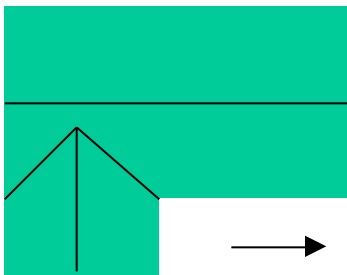
Roof colors should be limited to black, brown, slate gray, or natural wood shingle.

6. Roof slopes and shapes

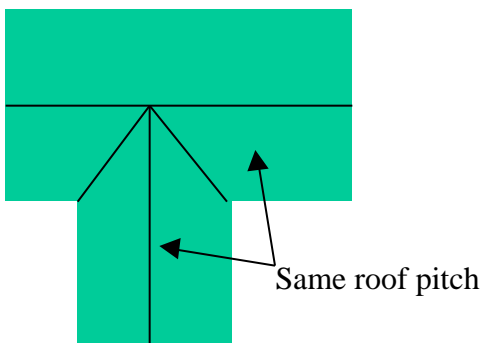
It is recommended that the roof pitch should be at least 8 over 12 (rise over run) on a building of more than one story, except in the case of a hip roof where a lesser pitch is traditional. It is recommended that the roof pitch of gables or link buildings be no less than the roof pitches of the buildings they are linking.

Roof shapes may include simple gable, gambrel, saltbox, and hip. Flat or nearly flat shed-type roofs shall not be allowed, except for porches or attachments distinct from the primary structure or in the case where systems are concealed by standard roof forms.

It is recommended that additions to the primary structure not be in same plane as end gable, pictured here.



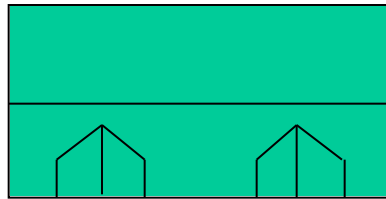
It is recommended wings be offset from end of the gable as shown below.



Roof pitches of additions or wings should be similar to the primary roof. Clusters of buildings should apply the same roof plan principles to pitch and link roofs.

Skylights and Dormers

Sky or roof lights are not recommended openings. Dormer windows are the recommended method of introducing light into roof space and are usually best designed when they relate to the windows on lower elevations.



Dormer windows should be in scale with the remainder of the elevation (smaller than the windows on the lower floors) and relate to the layout of openings on the lower floors.



Good example of dormers that are congruous with both the primary structure and the adjacent structure comprised of different materials.

No more than one double hung window shall be allowed per dormer. Shed dormers are specifically excluded.

7. Signage and Lighting

Signage and lighting should be designed to be in keeping with the nature of the area, as well as to maintain the bucolic nighttime feeling of the Town.

Lighting

Pedestrian-scale street lamps should illuminate pedestrian ways in the Village Core and be traditional (colonial lantern fixtures or resembling gas light style).



Examples of lighting types.

Understanding that safety and security are sometimes more important elements than historically accurate design, recessed and discrete fixtures should be used at steps and non-road abutting walkways.

Signs

Size: The size of the signs should be kept in scale with the surrounding buildings and street.

Information: The information shown on signs should identify a business in a simple and straightforward manner. Signs that identify a business should limit the text to the name of the business. A simple illustration is often the best way to convey a product or service.

Color: No more than 2-3 colors should be used. Colors used for the sign

should match either the background or the trim color of the structure that it serves. This will visually link the sign to the business. When more than one sign is used, the sign colors should be coordinated with each other to present a unified image.

Materials: Wooden signs, either painted or carved, are appropriate given the architectural character of the Village Core. Other materials may be used only if their design is compatible with the architecture of the building and the character of the Village Core. Plastic, internally lit, or flashing signs are not appropriate.

Uniformity vs. Individuality: Through use of similar materials, lighting, and standardized posts for freestanding signs, the perception of the Village Core as a distinct and unique place may be reinforced. (Standards such as size and height limitations will be included in the zoning bylaw). The proposed sign system should allow individual expression while respecting the overall integrity of the Town Center.

Sign types

Freestanding sign – A freestanding sign is supported by upright post(s) permanently anchored in the ground. The sign face is oriented perpendicular to the street and is easily viewed by passing motorists and pedestrians.

Content: As the primary identifier of the business, information should be limited to the name and function of the business.

Size: The area of the sign face should be limited to a maximum of 10 square

feet. The height of the sign face shall not exceed 7 feet although the upright supporting the sign may be slightly higher and should not interfere with sidewalk circulation.

Lighting: The light source should be concealed from view and face downward. Glare from light sources can be reduced through the use of shielded light fixtures or frosted glass. Lighting on the sign should be shielded so that no direct light shines onto sidewalks, streets, or adjacent properties. If possible, the light source should be concealed from view.

Sign supports: Standardized sign supports could provide a visually unifying element that would help identify the town center. Posts should be painted or stained a neutral background color to match the building. Accent colors may be used in coordination with building trim colors or sign lettering.

Projecting sign. A projecting sign is attached to and projects more than 18" from a wall of a building. Because projecting signs may interfere with the appearance of the façade, the use of projecting signs is allowed only where it is not possible to use a freestanding sign.

Content: Same as for freestanding signs.

Location: The sign should be located so it does not block or obscure important architectural elements of the façade. Either of the front corners of a structure would be the best location. Smaller signs projecting from porches are also appropriate.

Size: The area of the sign face should be limited to 6 square feet and should project no more than 2 feet from the side of the building. The bottom of the sign should be at least 10 feet above the ground.

Lighting: Lighting on the sign should be shielded so that no direct light shines onto sidewalks, streets, or adjacent properties. If possible, the light source should be concealed from view.

Sign support: The supports should be as simple and unobtrusive as possible. If the sign supports are wooden, they should be painted to match the building.

Wall Sign. A wall sign is parallel to any exterior wall of a building. A wall sign should not obscure the architectural features of the building. Depending on the design of the building, wall signs should be considered only if the other types of signs are not suitable.

Content: If the wall sign is the primary identifier of the business, the information should be limited to the name and function of the business. This information should be placed so that people entering the establishment can read it.

Location: The sign should be placed according to the design of the building. If the building incorporates sign space into the façade, the sign should be placed in that area.

Size: The size of a wall sign should be proportional to the wall space on which it is mounted. On residential type structures where sign space is not typically incorporated into the façade,

the size should not exceed 6 square feet.

Lighting: Lighting on the sign should be downward and shielded so that no direct light shines onto sidewalks, streets, or adjacent properties. If possible, the light source should be concealed from view.

Directional Signs. A directional sign is designed specifically to direct pedestrian or vehicular traffic flow. Directional signs should be used only when absolutely necessary. When used, they should be visually subordinate to major identification signs.

Content: The text should contain direction messages only.

Location: Only where necessary to mark driveway entrances or to direct cars to parking at the rear of buildings.

Size: These signs should not exceed 3 square feet.

Lighting: When necessary, should be concealed and unobtrusive.

Using Signs. It is recommended only one but no more than two sign types shall be allowed per establishment. If two are used, a combination of a freestanding or projecting sign plus a wall is recommended. This combination would provide one sign perpendicular to the road that can easily be read by passing motorists and a second sign that can be read when facing the building. A projecting sign should be used if there is no front yard, or if a freestanding sign would obstruct visibility from a driveway.

Flag Poles. Flagpoles, freestanding and/or structure-mounted, are encouraged for flying the American Flag. Scale should be commensurate with the location.

8. Landscaping

Landscaping in the Town Center should build upon the natural beauty of the location. Abundant, well chosen, and well maintained planting and landscaping should become a notable theme to be reinforced throughout. Outdoor gathering places close to open spaces, shops, and residences should provide benches, and plantings that reflect the natural surroundings.

Where they can be well maintained, it is recommended that Village Core structures include window boxes or plant shelves for, at a minimum, lower floor windows which are street or path facing. Also, where they can be well maintained, flower baskets hung from lighting posts should be considered.



Example of flower basket hanging from lighting post.

Landscaping should be used to either strengthen or buffer the visual relationship with the surrounding area. Existing natural features should be

assessed for incorporation within open space areas.

Landscaping should be designed with consideration of nearby buildings, walkways, and parking areas. Walkways should be located to account for most probable access routes (e.g., out of direct intersection of or allowing access between flowerbeds). Parking lots should be designed with landscaped islands within them and islands between buildings, roads and walkways should be abundantly planted to create a strong horticultural character from throughout the year.



Example of excellent planting scheme that adds to the attractiveness of the environment and demonstrates civic pride.

Where heavy pedestrian traffic is anticipated, the landscaped surfaces should have durable surfaces: brick or brick like pavers, slate, cobblestone, or textured concrete (patterned or giving the appearance of the other listed materials). Asphalt sidewalks shall not be permitted.



Example of durable finishes for pedestrian traffic.

All trees in along primary road and walkways should have a minimum of 2-1/2 to 3" caliper with a 14-16' height. These trees should limb up a minimum of 8' above ground line. One tree type should be selected per traffic way (street, lane, etc.). There should be at least one tree for each 16 feet of street frontage. Plantings towards the street should respect the integrity of the street.

The use of native species of trees, shrubs, vines, groundcovers and perennials is encouraged in order to make gardens compatible with the existing wildlife habitat and its regional context.

The use of fruit, berry, and nut trees is encouraged in order to contribute to the existing wildlife habitat, but should not be placed overhanging or near walkways or roads. Planting of fruit trees in groups of four or greater (regularly spaced) is encouraged to create small orchards. Planting of nut trees in regular or irregularly-spaced groups of three or more is encouraged.

Plantings in immediate proximity to buildings should respect architectural lines (that is, should be seen as extensions of the architectural walls).

Species to be avoided

Because of the adverse impacts to the ecology in the North East, it is recommended the following plants not be used for landscaping.

Trees:

Russian olive
Autumn olive
Osage orange
White mulberry
White cottonwood

Shrubs & Small Trees:

Barberry
Winged euonymus
Amur honeysuckle
Tartarian honeysuckle
Blunt-leaved privet
Smooth buckthorn
Shiny buckthorn
Multiflora rose
Rugose rose

Vines:

Porcelain berry
Oriental bittersweet
Japanese honeysuckle
Silver fleece vine
Kudzu
Japanese Wisteria

Herbaceous plants:

Yellow flag iris
Purple loosestrife
Japanese knotweed

Attachment 1 – Design Review Board Application

Date: _____

Project Name: _____

Project Address: _____

Owner Name: _____

Owner Address: _____

Telephone No.: _____

Fax No.: _____

Architect/Engineer/Designer Name: _____

Address: _____

Telephone No.: _____

Fax No.: _____

Briefly describe the nature of the construction work

Briefly describe the use of the building

Details:

Number of stories _____

Building Height _____

Total square footage _____

Number of attached structures _____

Square footage per floor _____

Roof pitch _____

Exterior material _____

Exterior signage YES NO Size _____

Estimated construction cost _____

Describe in detail how the design of the proposed project addressed compatibility with Town Center (attach additional information, as necessary, to demonstrate that the design attributes are being addressed.)

[illegible]

Please attach the following:

- ✓ Color photographs showing existing buildings and site conditions adjacent to the proposed project area.
- ✓ Building elevations showing configuration, details, and adjacent site/building conditions.
- ✓ Plans showing footprint and relationships of structures, including relationship to structures on contiguous lots.
- ✓ Full lot and building section, including relationship of building height and street width.
- ✓ Other plans (including landscaping), sections, elevations and detailed drawings as may be required to demonstrate design attributes are being addressed.
- ✓ Samples of finished materials.
- ✓ Samples of colors.

APPENDIX A – Zoning Bylaw Changes, ATM May 8, 2000

The following article was approved overwhelmingly by the Boxborough Annual Town Meeting on May 8, 2000.

ARTICLE 25 DESIGN REVIEW AND OTHER TOWN CENTER ZONING BYLAW CHANGES

To see if the Town will vote to amend the Zoning Bylaw and Zoning Map by adopting a new Section 5900 Design Review; amending Sections 2234, 2310, 3280, 5350, 5433, 5460, and 6200; and rezoning Parcel 103.3 on Assessor's Map 6, Group as follows:

a) Adopt a new section 5900 Design Review as follows:

5900. Design Review

5910. Purpose

The intent of this section is to provide for a detailed review of certain structures in the Town; to enhance the natural and aesthetic qualities of the Town; to preserve the value of land and buildings; and to protect and preserve the historic and cultural aspects and heritage of the Town.

5920. Design Review Board

The Design Review Board shall be composed of five residents of the town who shall be appointed by the Board of Selectmen for three-year terms as designated by the respective organizations as follows:

- a. One member of the Planning Board or their designee;
- b. One member of the Board of Selectmen or their designee;
- c. One member of the Historical Commission or their designee;
- d. One member of the Permanent Building Committee or their designee; and
- e. One member representing the community at-large, who shall be elected by the four designees as listed above and brought forward to the Board of Selectmen for appointment.

Partial terms shall be designated by the respective board/commission, or elected in the case of the at large member, and duly appointed by the Board of Selectmen.

5930. Applicability and Authority

Design Review in accordance with this section shall be required for: (1) new construction, exterior alteration or expansion of buildings in the Town Center District (except for pre-existing single-family dwellings as specified in Section 2262) where such new construction, alteration or expansion is subject to site plan approval under Section 5400 or is subject to a special permit; and (2) new or modified signs in the Town Center District.

5940. Procedures

Upon receipt of an application for site plan review, or an application for a special permit, in connection with any activity subject to design review pursuant to Section 5930, the recipient Planning Board or Board of Appeals shall forward a copy of said application to the Design Review Board with a request for its recommendations.

The applicant shall be responsible for submitting the following materials and documentation at the time of application. All drawings shall be to scale.

- a. Completed Design Review Board application.
- b. Color photographs showing existing buildings and site conditions on and adjacent to the proposed project area.
- c. Building elevations showing the proposed configuration, details, and adjacent site/building conditions.
- d. Plans showing footprint and relationships of structures, including relationship to structures on contiguous lots.
- e. Full lot and building section, including relationship of building height and street width.
- f. Other plans (including landscaping), sections, elevations and detailed drawings as may be required to demonstrate design attributes are being addressed.
- g. Samples of finished materials.
- h. Samples of colors.

The Design Review Board shall evaluate the proposed construction, alterations, or expansion based upon its published Design Guidelines, and shall submit its written findings and recommendations to the Planning Board or the Board of Appeals, as appropriate, and to the applicant. Said findings and recommendations shall be advisory only. The Design Review Board shall not delay the site plan review in preparing recommendations or requiring additional information.

Anyone seeking a permit under Section 3220 to erect or modify a sign in the Town Center District which is not subject to approval by the Planning Board or the Board of Appeals shall, prior to submitting the sign permit application to the Building Inspector, submit to the Design Review Board a scale drawing specifying sign dimensions, materials, illumination, letter size and styles, colors, and structural elements, and showing the proposed location of the sign on the lot or building with all relevant measurements, for a written determination that the proposed sign conforms to the applicable Design Guidelines. A copy of the Review Board's determination must be appended to the sign permit application submitted to the Building Inspector.

5950. Design Attributes and Guidelines

The Design Review Board shall review projects based on the following attributes:

1. Rhythm of solids and voids
2. Façade and openings
3. Massing and spacing of buildings
4. Placement and orientation of buildings within a lot
5. Architectural details, materials, and color
6. Roof slopes and shapes
7. Signage and lighting
8. Landscaping

The Design Review Board shall publish and make available to the public, on request, a booklet of guidelines further detailing the specific Design Attributes cited above to effectuate the purposes of this section. The Zoning Bylaws will take precedence over any prepared guidelines.

b) Amend the existing footnote 8 in Section 2234 (the Use Schedule) for retail stores in the Town Center District as follows:

⁸ Hours of operation per footnote 7; all sale and display of merchandise to be within a building.

to read as follows:

⁸ Hours of operation per footnote 7; all sale and display of merchandise to be within a building. Mixed-use buildings in the Town Center District shall have only retail on the ground floor. (See Section 6200 for definitions).

c) Amend the existing footnote 2 in Section 2310 (the Dimensional Schedule), which currently reads:

From lot line. Minimum setbacks from Stow Road and Burroughs Road are 50 feet. Minimum setbacks from Massachusetts Avenue (Route 111) are 75 feet. Where the lot line in the Town Center District abuts the Agricultural-Residential District, the minimum building setback for a residential building shall be 40 feet; and the minimum building setback for a nonresidential building shall be 75 feet. Parking shall not be allowed in the front yard, and all parking shall be screened from ways and adjacent properties by vegetative buffers.

to read as follows:

From lot line. Minimum setbacks from Stow Road and Burroughs Road are 50 feet. Minimum setbacks from Massachusetts Avenue (Route 111) are 75 feet. Where the lot line in the Town Center District abuts the Agricultural-Residential District, the minimum building setback for a residential building shall be 40 feet; the minimum building setback for a nonresidential building shall be 75 feet; and, the minimum parking lot setback shall be 50 feet. Parking shall not be allowed in the front yard, and all parking shall be screened from ways and adjacent

properties by vegetative buffers. For commercial or mixed use structures in the Town Center District, there shall be no front or side minimum setback.

d) Amend the existing footnote 3 in Section 2310 (the Dimensional Schedule), which currently reads:

³ Excluding sidewalks.

to read as follows:

³ As calculated for the entire site as shown on a Site Plan in accordance with Section 5400, excluding sidewalks.

e) Deleted.

f) Amend Section 3280, which currently reads:

3280. Signs Permitted in the Town Center District shall include: (Signs in the Town Center District should be oriented to the pedestrian. Building facades shall not be cluttered with signs and signs shall not overpower the facades to which they are attached.)

to read as follows:

3280. Signs Permitted in the Town Center District. Any new sign or alterations to existing signs shall require Design Review in accordance with Section 5900. Signs in the Town Center District should be oriented to the pedestrian. Buildings' facades shall not be cluttered with signs and signs shall not overpower the facades to which they are attached.

g) Replace Section 5350, which currently reads as follows:

5350. Special Permits in the Town Center District. In addition to the standards set forth in Section 5340 of this Bylaw, when granting a Special Permit for uses set forth in the Town Center District, the Special Permit Granting Authority shall also find that the benefits to the town in allowing the requested use outweigh any adverse affects, after considering the following:

with the following new Section 5350 to read as follows:

5350. Special Permits in the Town Center District. In addition to the standards set forth in Section 5340 of this Bylaw, when granting a Special Permit for uses set forth in the Town Center District, the applicant shall demonstrate to the Special Permit Granting Authority that the benefits to the town in allowing the requested use outweigh any adverse affects. Design Review in accordance with Section 5900 will be conducted prior to granting Special Permits, (but need not be redundant if already accomplished as part of the site plan review). Where the Special Permit Granting Authority shall render a decision contrary to the recommendations of the Design Review Board, the Special Permit Granting Authority shall state the reasons in writing. Additionally, the following shall also be considered in granting special permits in the Town Center District:

h) Delete Section 5433 (Site Plan Approval Exemptions) which currently reads as follows:

5433. In the Town Center District construction, alteration or expansion of a building, provided that such building shall not have a gross floor area in excess of 1,000 square feet, including the basement, if applicable.

i) Amend Section 5460, which currently reads as follows:

5460. Decision. Site plan approval shall be granted upon determination by the Planning Board that new buildings or other site alterations have been designed in the following manner, after considering the qualities of the specific location, the proposed land use, the proposed building form, grading, egress points, and other aspects of the development.

to read as follows:

5460. Decision. Site plan approval shall be granted upon determination by the Planning Board that new buildings or other site alterations have been designed in the following manner, after considering the qualities of the specific location, the proposed land use, the proposed building form, grading, egress points, and other aspects of the development. Where the Planning Board renders a decision contrary to the recommendations of the Design Review Board, the Planning Board shall state the reasons in writing.

j) Add to Section 6200, Definitions the following:

Mixed-use shall mean any combination of two or more of the following principal uses: retail, office, dwelling.

k) Expand the Town Center District to include Parcel 103.3 as shown on Assessor's Map 6 Group 4 by rezoning said parcel from Agricultural/Residential District to Town Center District and amending the Zoning Map and the Definition of Districts accordingly.
Or take any other action relative thereto.